



**CASH ESCROW BOND AGREEMENT
FOR PUBLIC IMPROVEMENTS**

Date: _____

Address of Project: _____

Lot#: _____ Subdivision Name: _____

Parcel#: _____

This Cash Escrow Bond is provided to ensure that the following work is completed in accordance with the terms of the attached Public Improvements Agreement.

_____ \$ _____

I agree to the terms of the public improvements pertaining to the subject property agreement: Contact Information:

_____ Owner/Contractor Name _____ Owner/Contractor Telephone

_____ Authorized Agent _____ Owner/Contractor Email

Mailing Address: _____ Escrow Release Contact Information:

_____ Street _____ Telephone

_____ City, State, & Zip Code _____ Email

Received By: _____ Date Received: _____

This agreement is exclusive to the parties named herein and is not assignable or transferable to any other parties. I (we) hereby warrant and represent that I (we) have the power to bind the above named Builder, Contractor, Firm, Owner, or Developer of the subject premises by affixing my signature hereto and I (we) hereby acknowledge that I (we) have thoroughly read the foregoing application and agreement and hereby acknowledge, understand, and agree to the terms contained herein.

Notice: Governmental entities must obtain and process only the minimum amount of personal data reasonably necessary to efficiently achieve a specified purpose, retained for required period. [Utah Code § 63A-19-401\(2\)\(c\)](#)

Signature



Application for Bluffdale City Utility Services
 2222 W 14400 South, Bluffdale City, UT 84065
 Phone: (801) 254-2200 Fax: (801) 253-3270
 www.bluffdale.gov

Billing Name (Owner/Construction Company):			
Phone #1:		Phone #2:	
Resident/Owner 1:		Resident/Owner 2:	
E-mail (Primary)		E-mail (Secondary)	
Street Address Where Services are Required:			Is this application for an ADU? _____
Address: _____			
Mailing address if different:			
Address: _____			
City: _____		State: _____	Zip: _____
Set-up fee of \$40 will be added to the first billing.	Date of Closing: proof required	Purpose of Application:	
		Contractor: <input type="checkbox"/> New home: <input type="checkbox"/> Existing home: <input type="checkbox"/> Commercial: <input type="checkbox"/> Other/Rental <input type="checkbox"/> ADU <input type="checkbox"/>	
Please provide proof of closing date. We cannot put services in the name of renters or leasers.			
<p>I, the undersigned, hereby apply for utility services from Bluffdale City for the above named premises and agree to pay any and all charges incurred for said services (including but not limited to culinary water, storm water, street lights, public safety and garbage collection) in accordance with rates fixed by Bluffdale City. Failure to pay my bill in full by the <u>25th of each month</u> or having an excessive or extended balance, will result in an interruption or disconnection of service(s). I recognize and consent that a reconnection fee of \$110.00 will be assessed. Payment in full of all outstanding charges, including the reconnection fee will be required before services can be restored. I agree to be responsible for any damage to the water meter and any other damage pertaining to the service connection. Failure to pay said charges will result in interruption of services. I agree to pay all reasonable attorney fees and other costs incurred by Bluffdale City to obtain collection on this account, whether or not litigation is actually filed.</p> <p><i>Governmental entities must obtain and process only the minimum amount of personal data reasonably necessary to efficiently achieve a specified purpose, retained for required period. Utah Code § 63A-19-401(2)(c)</i></p>			
Signature:			Date:
FOR OFFICE USE ONLY			
Services:			Temporary Disconnect or Commercial (no trash service) <input type="checkbox"/>
Water _____ Secondary/Irrigation Water _____ Basic Services (1 Trash & 1 Recycle) _____ Extra Trash _____ Extra Recycle _____ Green Waste _____ Extra Green Waste _____			
Notes/Comments:			Account #:
Date WM cans ordered:	Parcel Number:		Reading Sequence:
Subdivision:	Lot:	Meter # & Size	Meter Reading
Zone: 1 2	An Equal Opportunity Provider		Setup Date:



Building Inspection Department

Landscaping Agreement

In order to help meet the goal of improving the appearance and living environment of Bluffdale City, landscaping on residential lots shall comply with the following standards:

1. Landscaping shall be installed in front yards between the front of the house and the sidewalk on the entire width of the lot, excluding the driveway.
Bluffdale Zoning Ordinance §§ 12.6.3.14, 12.6.4.14, 12.6.5.14
2. Landscaping shall include at least one tree and a combination of lawn, shrubs or ground cover. Ground cover may include vegetative vines, low spreading shrubs, annual or perennial flowering of foliage plants. Ground cover may also include mineral or non-living organic permeable material. Mineral ground cover may include such materials as rocks, boulders, gravel or brick over sand. Species, size and placement of landscape elements shall be determined by the homeowner. Bluffdale Zoning Ordinance § 12.29.35
3. In order to allow double driveways and to allow hard-surface access to the rear yard, up to but not more than 40% of a front yard may be paved.
4. I understand that the landscaping in the front yard can be completed at time of final inspection or have a landscape bond in the amount of \$3,000.00 for parcels less than 1.5 acres and \$5,000.00 for parcels totaling 1.5 acres or larger. The landscaping bond shall run with the land and inure to the benefit of the owner who causes the landscaping to be installed. If a bond is posted, landscaping shall be completed by one year from issuance of the certificate of occupancy.

As owner of LOT# _____ located in _____
(Name of Subdivision)

(Address of Lot)

I have read and understand the standard outlined above and agree to abide by them. I agree that necessary landscaping will be completed at final or within one year with landscape bond. I further agree that if any City infrastructure is damaged, (sidewalk, water meter, etc.) it will be repaired before the landscape bond is released.


Home Owner's Name (PLEASE PRINT)

Home Owner's Signature Date

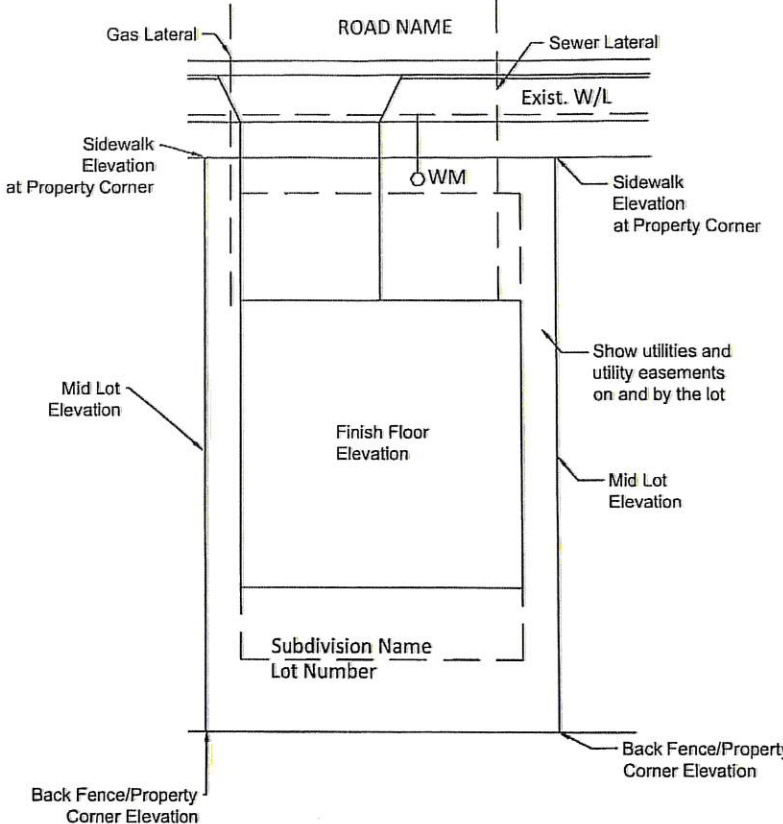
Contractor or Sales Agent's Name (PLEASE PRINT)

Contractor or Sales Agent's Signature Date

PLOT PLAN



SCALE 1" = 20' (Min.)



The diagram shows a rectangular lot with a house footprint inside. Labels include: ROAD NAME at the top; Gas Lateral and Sewer Lateral lines entering from the top; Exist. W/L (Existing Water Line) below the sewer lateral; Sidewalk Elevation at Property Corner on both sides; OWM (On-Property Water Main) in the center; Finish Floor Elevation inside the house footprint; Mid Lot Elevation on both sides; Subdivision Name and Lot Number at the bottom of the lot; and Back Fence/Property Corner Elevation at the bottom.

Plot Plan Requirements

1. Submit a stamped plot plan at building application and an as-built plot plan prior to requesting a certificate of occupancy.
2. Provide detailed information of all utilities and utility easement, including dimensions, size, location and ect.
3. Map lot to scale accurately showing all corners, show property lines of the lot and adjacent lots. Show the orientation of the house and the lot with a north arrow. Provide plot scale.
4. Show exact location of house foot print within the lot, showing foundation lines and all other features related to the house.
5. Show elevation of lot corners, mid lot, and house corners and label properly.
6. Show proposed drainage patterns and how the storm-water dissipates from the house.
7. Show how the lot drainage fits the plat grading and drainage plan.
8. Attach original grading plan.
9. Have a Utah Licensed Professional Engineer certify the information requested above.
10. Use this form or approved equal.
11. Use State Plane, NAD 83, Utah Central Zone Coordinate/Elevation System

CITY OF BLUFFDALE Permits	Subdivision Name		Contractor's Name and Signature:		DATE
			Applicant's Name:		DATE
			Applicant's Address:		
	Plat Name:	Lot Number:	Applicant's Telephone No.:		

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2222 W 14400 S Bluffdale, UT 84065

Driveway Approach Testing

All public infrastructure built within the City right of way must be tested for compliance with Bluffdale City's standards and specifications. Required testing includes all driveway approaches within the right of way, before and after pouring the approach.

Applicants for new home permits must request an inspection and pay required fees for the inspection (typically included in permit). Applicants must provide all needed documentation to the City inspector showing compliance with City standards, including but not limited to: air entrainment, slump, field density, concrete mix design, quality control test results, and tickets from material supplier, etc.

The inspections must be scheduled at least 48 hours in advance. Failure to apply and request for an inspection prior to placing the approach may result in the removal and replacement of the placed approach.

Following is a list of typical City Standards required for concrete driveway approaches:

- Base compaction: 96% of Proctor Dry Density
- Concrete maximum slump: 4 inches
- Concrete air content: 4.5% to 7%
- Maximum mixing time: 90-min.
- Add no water to finish concrete surface or to the mix at the job site
- Broomed finish
- Maximum width is 30 feet

I have read and understand the standards outlined above and agree to comply with all applicable City standards.

Signature of Builder or Owner

Date

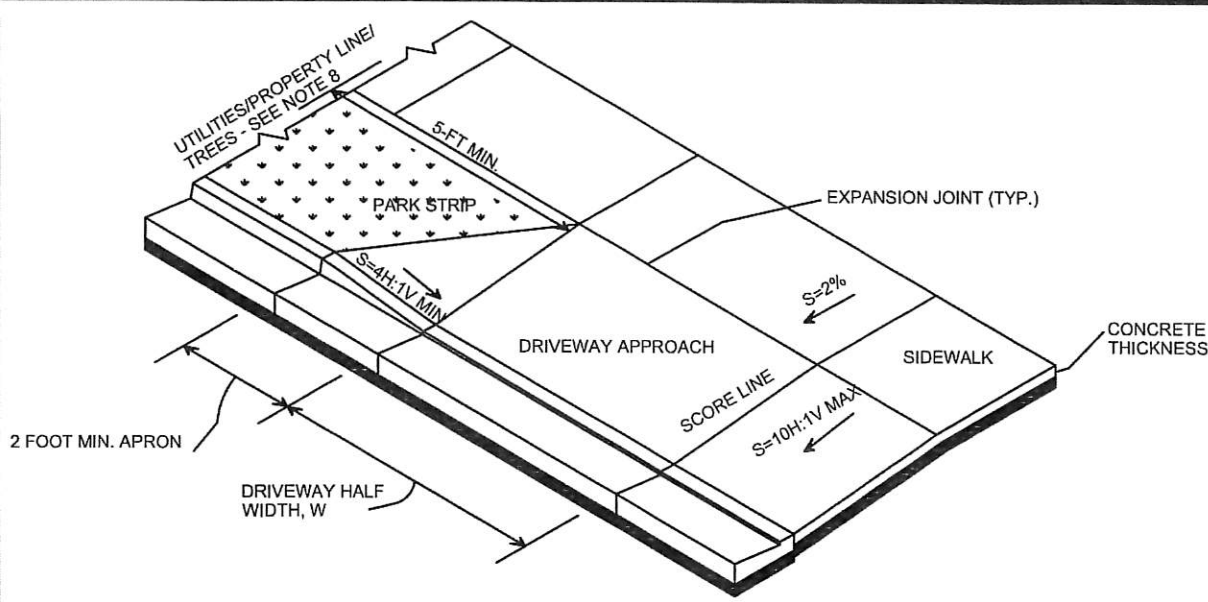
Print Name

Date

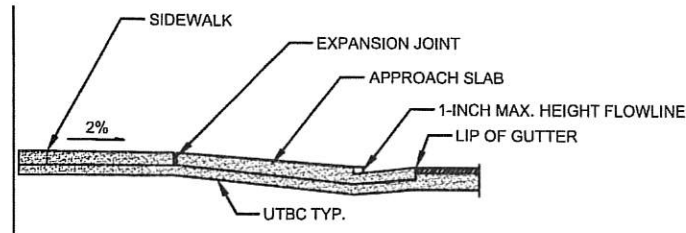
Company Name

Date

Path: c:\Standards\in progress\Streets\ST-3 Flare Driveway\3Jan21.dwg | plot date: January 22, 2021 | plotted by: dtricer



DRIVEWAY (TYPICAL)



DRIVEWAY CROSS SECTION (TYPICAL)

NOTES:

1. CHAMF 0.5 INCH
2. PROVIDE DRIVEWAY LINE TO BE BOTTOM FLUSH WITH SIDEWALK JOINT
3. SIDEWALK JOINT TO BE 50-FEET MAXIMUM
4. USE UNGRADED APPROACH 96% MAXIMUM SET FORWARD OF BACK MATTER
5. CONCRETE ENGINE
6. BUILD (SCORING) PROVIDE DRIVEWAY DO NOT 5-FEET HYDRANT TREES LEVEL.
7. FOLLOW ST-11.
8. COLD SURFACE CONCRETE TEMPERATURE JOINTS
9. PLACE CONCRETE
10. PLACE CONCRETE
11. PLACE CONCRETE
12. PLACE CONCRETE
13. PLACE CONCRETE

DRIVEWAY APPROACH

CONCRETE MINIMUM THICKNESS
 CONCRETE THICKNESS (RESIDENTIAL) = 6-INCHES MIN.
 CONCRETE THICKNESS (ALL OTHER) = 8-INCHES MIN.

PATH

MATERIAL: ASPHALT, SEE STANDARD ST-7A FOR SPECS.
 HMA THICKNESS: 3-INCHES MIN.
 UTBC THICKNESS: 8-INCHES MIN.

SIDEWALK

MATERIAL: APWA 4000PSI CONCRETE MIX.
 CONCRETE THICKNESS: 4-INCHES MIN.
 UTBC THICKNESS: 6-INCHES MIN.

DRIVEWAY WIDTH ON COLLECTOR AND ARTERIAL

COMMERCIAL: 50-FEET MAXIMUM
 RESIDENTIAL: 50-FEET MAXIMUM



City of Bluffdale
 Engineering Standards
 Approved Michael Rose 8 Feb 21
 City Engineer Date

STANDARD DETAIL
DRIVEWAY APPROACH - SIDEWALK

NEW ORDINANCE WATER EFFICIENT LANDSCAPING

Applies to All New
Construction and
Landscaping Reconstruction

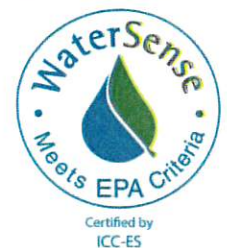
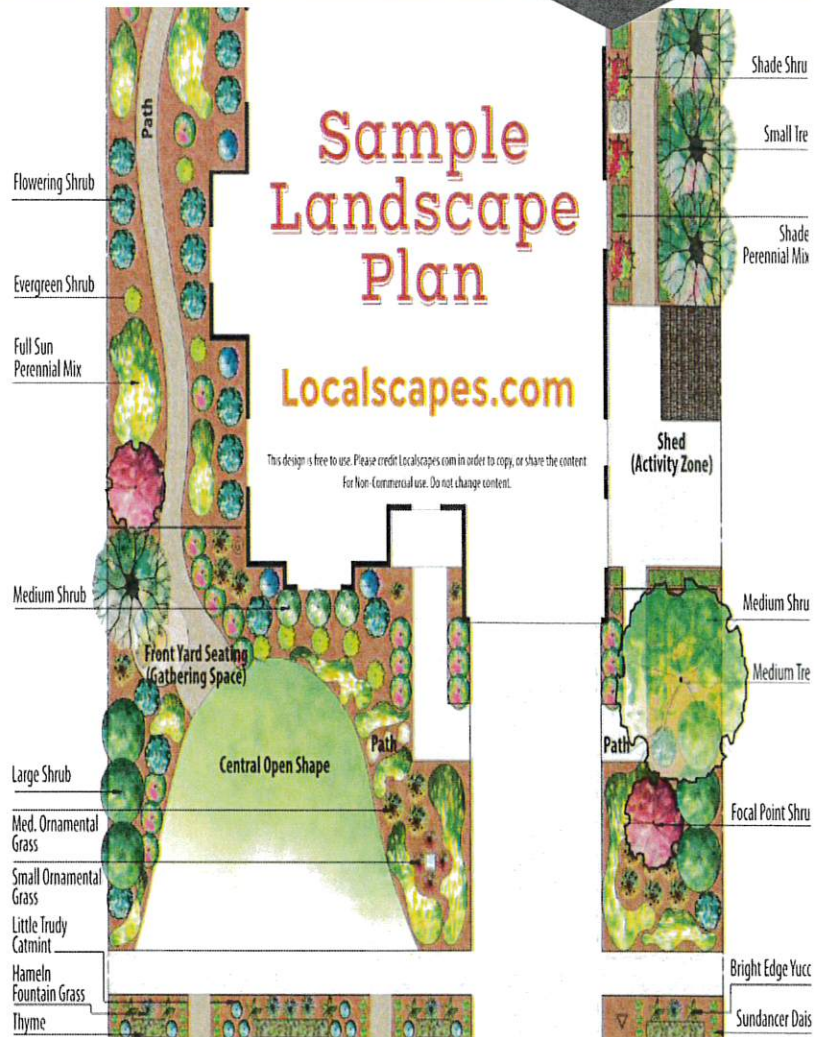
REQUIREMENTS

- No More than 35% Turf Grass in Front and Side Yards
- Drip Irrigation or Bubblers for Non-Turf Areas
- WaterSense Controller with Rain Delay
- No Turf Grass in Areas less than 8.0' Wide
- 3"-4" Mulch Provided in Non Turf Areas
- No Turf Grass in Areas steeper than 25%
- Separate Valve for Sprinkler & Drip Systems bas on Demand
- Enough plants for 50% Ground Cover at Maturity

VISIT LOCALSCAPES.COM TO LEARN ABOUT:


- Free Landscape & Irrigation Design Classes
- Download Complete Yard and Park Strip Designs with Plant Lists
- Info for Designers, Suppliers, & Builders who can Assist
- How to use Localscapes as Weed Control
- Installation & Maintenance Tips

See <https://www.bluffdale.com/234/Standards-Specifications-Manuals> for full details



WATER EFFICIENT LANDSCAPING:

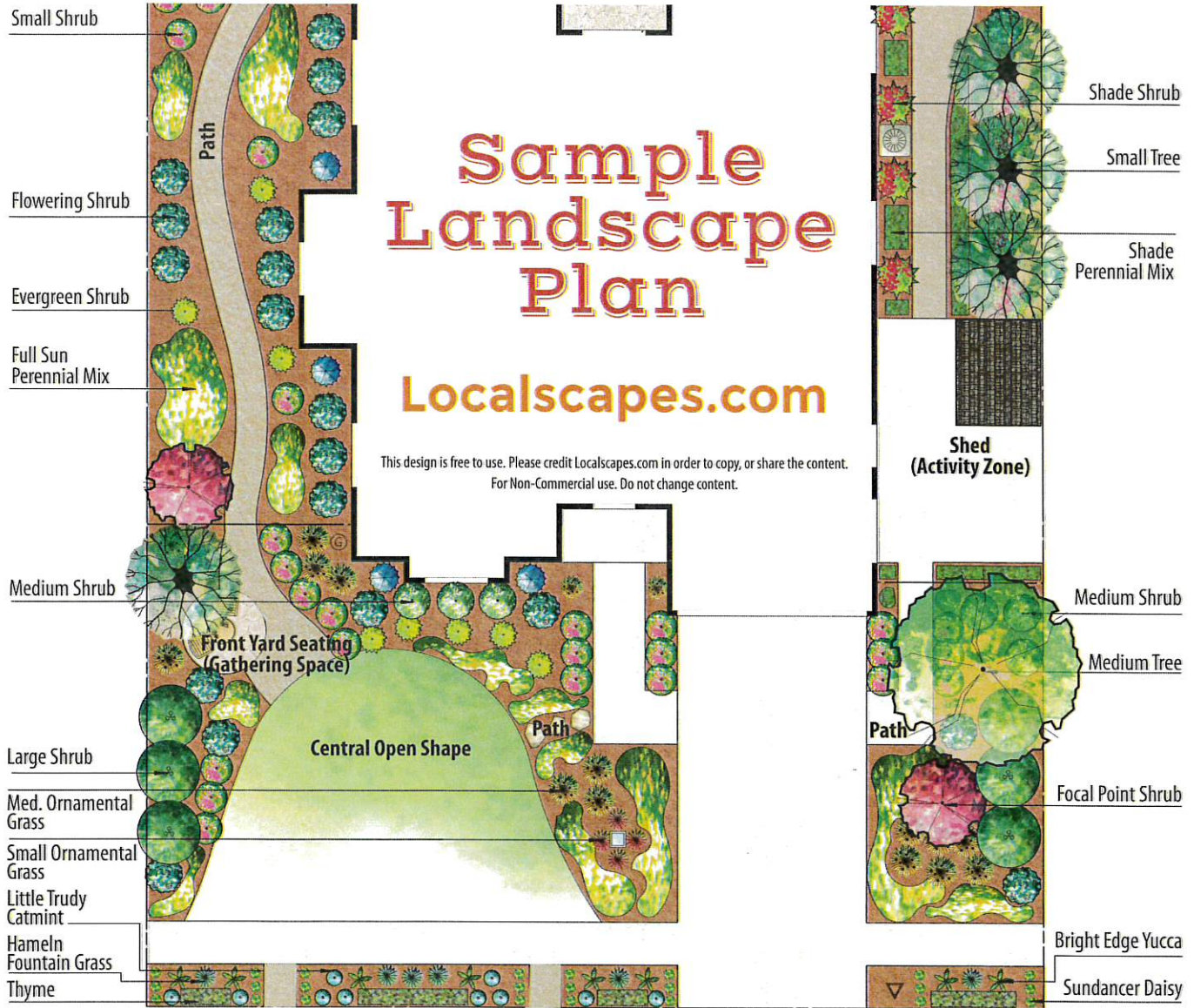
1. PURPOSE:
 - 1.1. THE PURPOSE OF THESE WATER EFFICIENCY STANDARDS IS TO CONSERVE THE PUBLIC'S WATER RESOURCES BY ESTABLISHING WATER CONSERVATION STANDARDS FOR INDOOR PLUMBING FIXTURES AND OUTDOOR LANDSCAPING.
2. LANDSCAPES IN NEW SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS:
 - 2.1. PROVIDE TURF GRASS THAT IS 35% OR LESS OF THE TOTAL FRONT AND SIDE YARD LANDSCAPED AREA. PROVIDE LANDSCAPING DESIGNS THAT MEET THIS STANDARD AT ALL NEW DEVELOPMENTS AND WHEN RENOVATING 50% OR MORE OF AN EXISTING SITE'S LANDSCAPING.
3. LANDSCAPES IN NON-RESIDENTIAL DEVELOPMENTS
 - 3.1. PROVIDE TURF GRASS THAT IS 20% OR LESS OF THE TOTAL LANDSCAPED AREA, OUTSIDE OF ACTIVE RECREATION AREAS. PROVIDE LANDSCAPING DESIGNS THAT MEET THIS STANDARD AT ALL NEW DEVELOPMENTS AND WHEN RENOVATING 50% OR MORE OF AN EXISTING SITE'S LANDSCAPING.
4. USE WATER WISE PLANTINGS AS IDENTIFIED IN JORDAN VALLEY WATER CONSERVANCY DISTRICT'S LOCALSCAPES DESIGN WEBSITE (LOCALSCAPES.COM).
5. USE DEEP-ROOTING, WATER-CONSERVING PLANTS (NOT TURF GRASS) AS LISTED ON LOCALSCAPES.COM ON SLOPES GREATER THAN 25% (4H:1V).
6. PARK STRIPS: DO NOT INSTALL TURF GRASS IN PARK STRIPS. PROVIDE WATER-CONSERVING PLANTS ACCORDING TO THIS STANDARD AND JORDAN VALLEY WATER CONSERVANCY DISTRICTS LOCALSCAPES.COM WEBSITE.
7. USE WATER-CONSERVING PLANTS (NO TURF GRASS) IN LANDSCAPED AREAS LESS THAN 8.0' WIDE.
8. USE DRIP EMITTERS OR BUBBLERS TO IRRIGATE PLANTS IN NON-TURF AREAS.
 - 8.1. PLACE VALVES SO THAT EACH ZONE IS SIMILAR, WITH SIMILAR SLOPE AND SOIL CONDITIONS, PLANT MATERIALS, AND WATERING NEEDS. USE SEPARATE VALVES ON TURF AND NON-TURF AREAS. PLACE DRIP EMITTERS AND SPRINKLERS ON SEPARATE VALVES.
 - 8.2. USE A WATERSENSE LABELED SMART IRRIGATION CONTROLLER THAT AUTOMATICALLY ADJUSTS THE FREQUENCY AND/OR DURATION OF IRRIGATION IN RESPONSE TO CHANGING WEATHER CONDITIONS. USE CONTROLLERS EQUIPPED WITH AUTOMATIC RAIN DELAY OR RAIN SHUT-OFF CAPABILITIES.
9. PROVIDE 3-INCHES TO 4-INCHES OF MULCH ON ALL IRRIGATED NON-TURF AREAS TO RETAIN WATER, INHIBIT WEED GROWTH, AND MODERATE SOIL TEMPERATURE. DO NOT PLACE MATERIALS UNDER MULCH THAT PREVENT WATER FROM INFILTRATING.
10. PROVIDE PLANTS THAT AT MATURITY PROVIDE AT LEAST 50% OF LIVING PLAN COVER AT THE GROUND PLANE (NOT INCLUDING TREE CANOPIES).

	City of Bluffdale Engineering Standards		STANDARD DETAILS	DETAIL SERIES LANDSCAPING
	Approved <i>Michael Jorio</i> City Engineer	19 Jul 21 Date	WATER EFFICIENT LANDSCAPING	DETAIL NO. L-2.1

Sample Landscape Plan

Localscapes.com

This design is free to use. Please credit Localscapes.com in order to copy, or share the content. For Non-Commercial use. Do not change content.



City of Bluffdale
Engineering Standards

Approved Michael Forio 19 Jul 21
City Engineer Date

STANDARD DETAILS

WATER EFFICIENT LANDSCAPING

DETAIL SERIES
LANDSCAPING

DETAIL NO.
L-2.2



Water Efficient Landscaping Certification

Customer/Project Information

To ensure timely processing of your application, please provide all requested information.

Owner/Applicant Name: _____
(Print Name)

Phone #: _____

Property Address: _____
(Address issued by PPRBD)

Building Permit No.: _____

Indoor Fixture Recommendations

It is recommended and encouraged, but not mandated, that all new and future construction and future additions, remodels, or refurbishments install plumbing fixtures that have the WaterSense label, including: lavatory faucets, shower heads, sink faucets, water closets (tank and flushometer-valve toilets), and urinals, to the extent Utah law allows municipalities or local districts to require these fixtures.

Water Efficient Landscaping Self-Certification

All new and rehabilitated landscaping for public agency projects, private development projects, developer-installed landscaping in multi-family and single-family residential projects within the front and side yards, and homeowner provided landscape improvements within the front and side yards of single and multi-family dwellings must comply with City's adopted Water Efficient Landscape Standards (attached). This document is a certification that the installed landscaping for the listed permit complies with this standard. All front yard landscaping must be installed within one year of issuance of the Certificate of Occupancy.

- Item 1 No more than 35% Turf Grass in Front and Side Yards Yes: [] No: []
Item 2 Drip Irrigation or Bubblers for Non-Turf Areas Yes: [] No: []
Item 3 Separate Valve for Sprinkler & Drip Systems based on Demand Yes: [] No: []
Item 4 WaterSense Controller with Rain Delay Yes: [] No: []
Item 5 3"-4" Mulch Provided in Non-Turf Areas Yes: [] No: []
Item 6 Sufficient Plantings to Provide 50% Ground Cover at Maturity (Including Trees) Yes: [] No: []
Item 7 No Turf Grass in Areas less than 8.0' Wide Yes: [] No: []
Item 8 No Turf Grass in Areas with Slope Greater than 4H:1V (25%) Yes: [] No: []
Item 9 Picture showing Front, Side Yards, and Irrigation System with Controller Yes: [] No: []

Owner/Applicant has read and understands the City of Bluffdale Water Efficient Landscape Standard and certifies that all information herein is accurate to the best of their knowledge and belief. Applicant/Owner hereby agrees to indemnify the City of Bluffdale from any and all claims, damages, losses and/or costs arising out of, or related to any misinformation, change or alteration of any information provided in this document. Authorized submission to the City of Bluffdale of the provided information herein indicates that Applicant/Owner accepts the above conditions. The City may elect to inspect any and/or all items to verify compliance with the City Ordinance.

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Owner/Applicant Signature

Print Name

Date



THE CITY OF BLUFFDALE
2222 West 14400 South
Bluffdale, Utah 84065
(801) 254-2200
Fax (901) 253-3270

January 21, 2025

Dear Permittee,

Utah Code 19-5-108.3 was recently adopted, effective Jan. 1st, 2025, which requires that “A municipal system shall conduct an oversight inspection through an electronic site inspection.” [19-5-108.3 (14)] The City of Bluffdale has previously been conducting oversight inspections in-person, as required by its MS4 permit. What this new law changes is that these City oversight inspections must be electronic.

What This Means For You

The new code defines an electronic site inspection as “*geo-located and time-stamped photos taken, evaluated, and submitted electronically by the applicant to the municipal system*” (emphasis added) [19-5-108.3 (1)(e)]. Thus, you, as the permittee, are now responsible to submit this information to the City for every BMP on the site, so that the City can “inspect” the site by reviewing the submitted photographs. If the information is not submitted at the required interval, or is found to be insufficient, the City will then conduct its inspection onsite.

The code further reads that “*A municipal system may conduct an on-site inspection if the municipal system has a documented reason for justifying an on-site oversight inspection.*” [19-5-108.3 (15)]

Given this provision, the following consent form attached to this letter provides an option for you as the permittee to opt-out of this electronic site inspection by providing documented justification for the municipal system (the City) to conduct on-site oversight inspections.

If you wish to have the City continue conducting its oversight inspections on-site (as it has previously) instead of submitting electronic information to the City as described above at the required inspection intervals, please fill out, sign, and return the attached form.

If you have any questions regarding this information, please contact our office at 801-849-9413 or 801-849-9427.

Electronic Oversight Inspections Waiver

As the listed operator of this permit, I request and authorize the City of Bluffdale to conduct its oversight SWPPP inspections for this permit on-site, in lieu of providing the required electronic information myself.

Permit #: UTR _____

SWPPP Operator Name: _____

SWPPP Operator Signature: _____

Date: _____

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